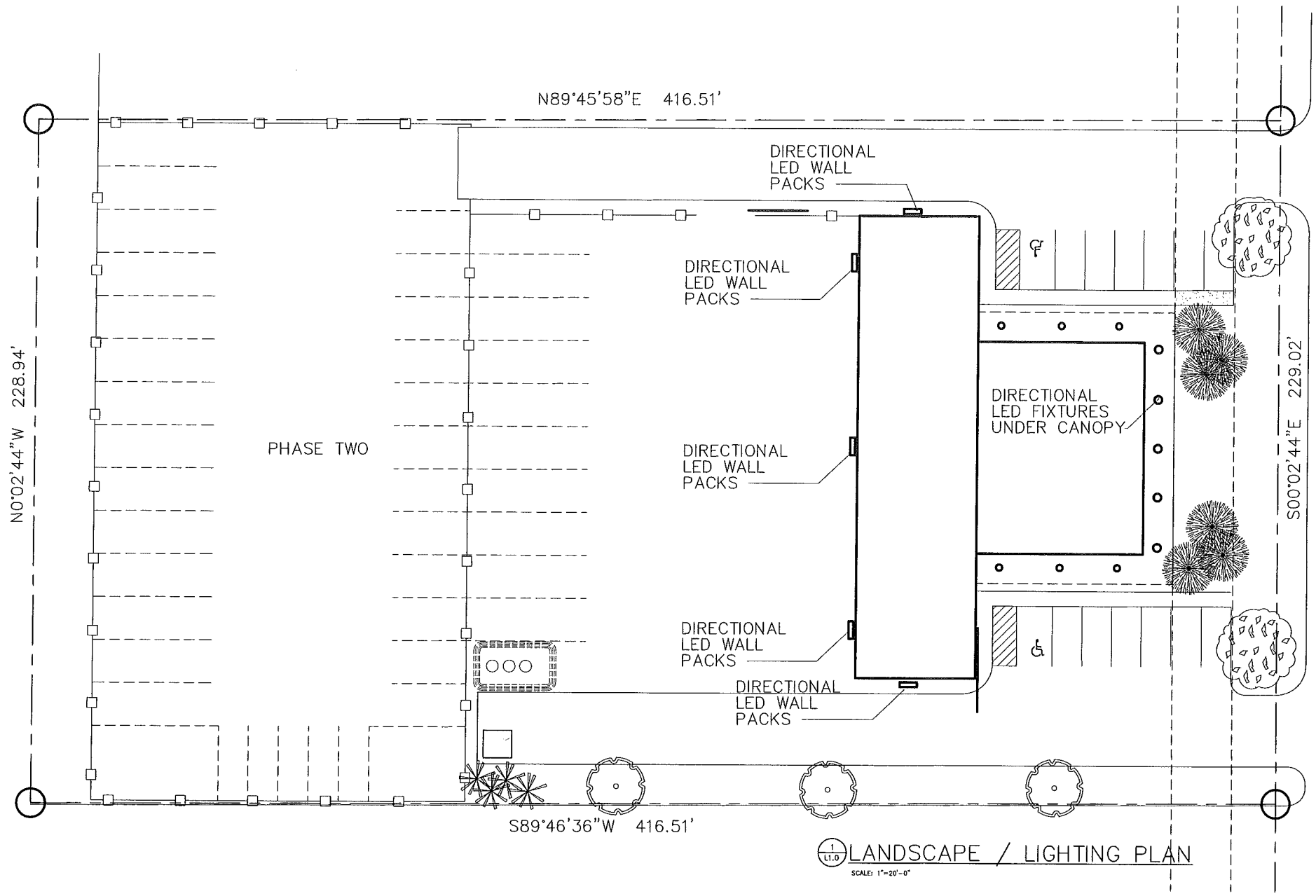






6/15/2001 9:21 AM MAYOR&BOARD.dwg
 Wooldridge & Associates



LEGEND

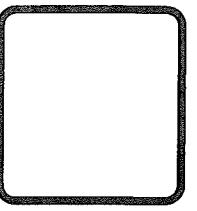

-  NUTTALL OAK
-  NATCHEZ CRAPE MYRTLE
-  SWEETBAY MAGNOLIA, "MAGNOLIA VIRGINIANA"
-  PAMPAS GRASS

LANDSCAPE / LIGHTING PLAN
 SCALE: 1"=20'-0"

SITE AREA = 95,372SF
 OFFICE SF = 3,993SF
 WAREHOUSE SF = 6,200SF
 TOTAL SF = 10,193SF
 10.6% SITE COVERAGE

PARKING
 OFFICE SF = 3,993SF / 300 = 13.31 SPACES
 WAREHOUSE SF = 6,200SF / 1000 = 6.2 SPACES
 TOTAL REQUIRED PARKING SPACES = 20 PARKING SPACES
 24 PARKING SPACES PROVIDED

REVISIONS	BY

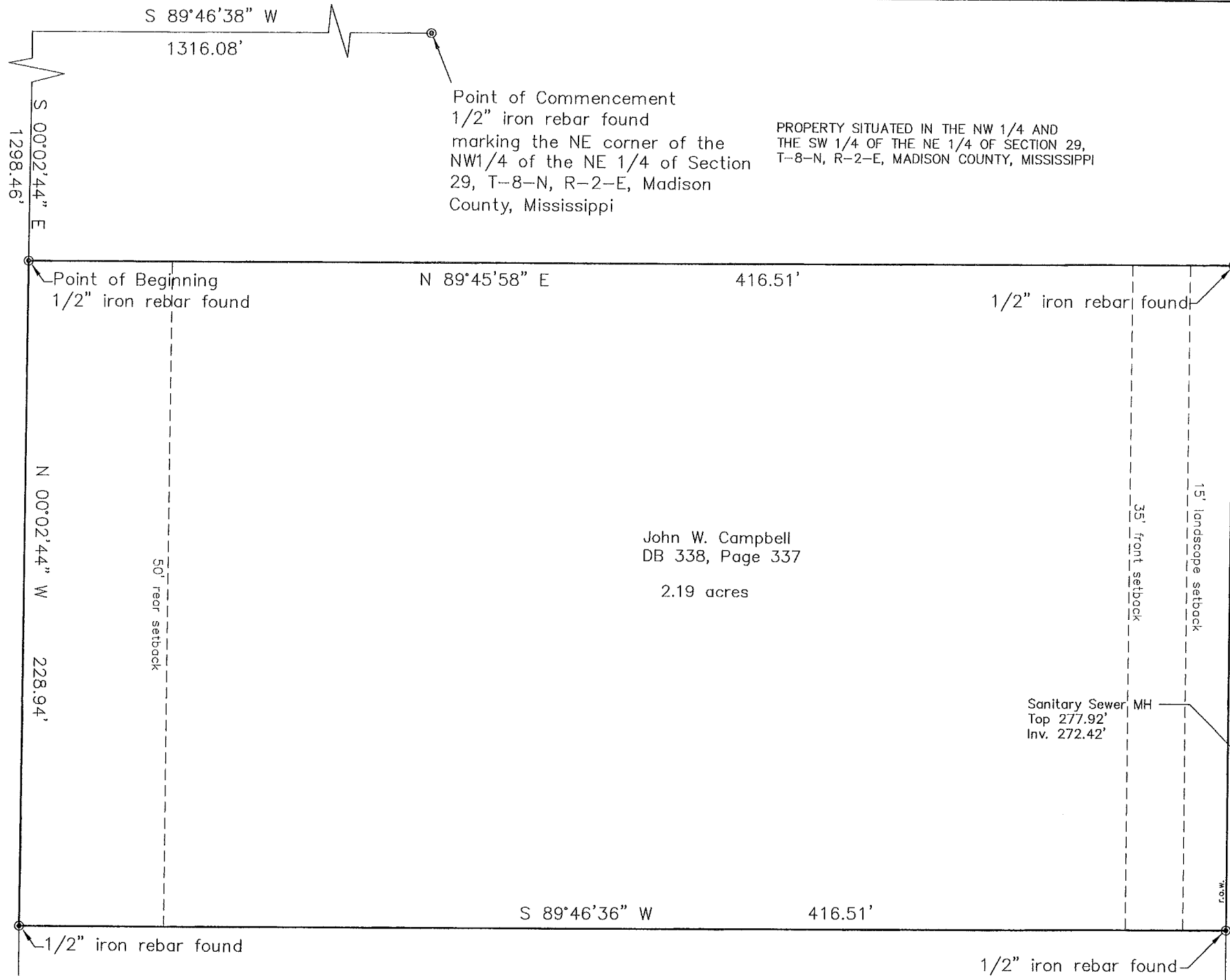



WOOLDRIDGE & ASSOCIATES
 368 HIGHLAND COUNTY PARKWAY
 RIDGELAND, MS 39167
 601-209-8885
 WOLDRIDGE@GMAIL.COM

Lone Oak Construction
 131 Enterprise Dr.
 Gluckstadt, Ms

THIS DESIGN IS THE COPYRIGHTED PROPERTY OF WOOLDRIDGE & ASSOCIATES. IT MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE EXPRESS WRITTEN PERMISSION OF WOOLDRIDGE & ASSOCIATES.

DRAWN
CHECKED
DATE
Nov. 16, 2017
SCALE
JOB NO.
SHEET
L1.0
OF SHEETS



Point of Commencement
1/2" iron rebar found
marking the NE corner of the
NW1/4 of the NE 1/4 of Section
29, T-8-N, R-2-E, Madison
County, Mississippi

PROPERTY SITUATED IN THE NW 1/4 AND
THE SW 1/4 OF THE NE 1/4 OF SECTION 29,
T-8-N, R-2-E, MADISON COUNTY, MISSISSIPPI

John W. Campbell
DB 338, Page 337
2.19 acres

Sanitary Sewer MH
Top 277.92'
Inv. 272.42'

LEGEND

- ⊙ 1/2" IRON REBAR FOUND
- 1/2" IRON REBAR SET (18" long)
- ▭ CABLE PEDESTAL
- ⊕ UTILITY POLE
- ⊕ GAS VALVE
- ⊕ WATER VALVE
- ⊕ FIRE HYDRANT
- ▭ TELEPHONE PEDESTAL
- SIGN
- ⊕ STORM INLET
- ⊕ SAN. SEWER MANHOLE
- ⊕ SOL. BORING
- SAN. SEWER
- GAS LINE
- UNDERGROUND TELECOMMUNICATION
- CONTOURS
- OVERHEAD POWER
- UNDERGROUND ELECTRIC
- WATER MAIN
- WATER MAIN
- ⊕ LIGHT POLE
- ⊕ WATER METER
- ⊕ SEWER CLEANOUT
- ⊕ POWER METER
- ⊕ GAS METER

Date:	
By:	
Revised:	
No.:	

Project No.:
3890
Date:
09/01/2017
Scale:
1" = 20'
Designed By:
CLB
Reviewed By:
PCF

JOHN W. CAMPBELL
BOUNDARY SURVEY
GLUCKSTADT, MISSISSIPPI

SHEET
C 0.0

PROPERTY ZONED C-2
Front Yard = 35'
Side Yard = none
Rear Yard = 50'

Class "A" survey in accordance with the minimum standards for land surveying in the State of Mississippi.
Subsurface and environmental conditions were not examined or considered as a part of this survey.
Underground utilities are based on physical evidence, maps provided by utility companies, and utility locate service personnel. Some utilities shown on this plot may be approximate only. Should call MS One-Call before any digging.

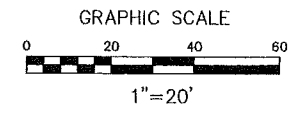
Property located in Zone X as referenced on FEMA Map 28089 C 415F, dated March 17, 2010.

This BOUNDARY & TOPOGRAPHIC survey was performed and this plot was prepared by Floyd & Baird Engineering, 130 E. Northside Drive, Clinton, MS 39056 Phone: (601) 925-5015

This survey is considered valid only when original seal and signature of surveyor of record is affixed hereto.
I, Collin L. Baird, do hereby certify that the features depicted on this plot are a correct representation of the conditions as they existed on September 1, 2017.

Date of field survey: August 28, 2017.
Elevations referenced to NAVD88.

Reference Bearing taken from GPS grade survey equipment and is referenced to Grid North, SPC MS West.



PROPERTY SITUATED IN THE NW 1/4 AND THE SW 1/4 OF THE NE 1/4 OF SECTION 29, T-8-N, R-2-E, MADISON COUNTY, MISSISSIPPI



Point of Beginning
1/2" Iron rebar found

N 00°02'44" W
228.94'

top of bank
50' rear setback

top of bank

1/2" Iron rebar found

metal building
ffe: 286.50'

metal building
ffe: 285.11'

concrete

asphalt

1/2" Iron rebar found

N 89°46'58" E

416.51'

ATT box

concrete

concrete

35' front setback
15' landscape setback

ENTERPRISE DRIVE

6" pvc water main

John W. Campbell
DB 338, Page 337

2.19 acres

Sanitary Sewer MH
Top 277.92'
Inv. 272.42'

S 89°46'36" W

416.51'

metal building
ffe: 277.61'

1/2" Iron rebar found

LEGEND

- ⊙ 1/2" IRON REBAR FOUND
- ⊙ 1/2" IRON REBAR SET (18" long)
- ▭ CABLE PEDESTAL
- ⊕ UTILITY POLE
- ⊕ GAS VALVE
- ⊕ WATER VALVE
- ⊕ FIRE HYDRANT
- ⊕ TELEPHONE PEDESTAL
- ⊕ SIGN
- ⊕ STORM INLET
- ⊕ SAN. SEWER MANHOLE
- ⊕ SOIL BORING
- SS— SAN. SEWER
- GAS— GAS LINE
- T— UNDERGROUND TELECOMMUNICATION
- L— CONTOURS
- E— OVERHEAD POWER
- U— UNDERGROUND ELECTRIC
- W— WATER MAIN
- ⊕ LIGHT POLE
- ⊕ WATER METER
- ⊕ SEWER CLEANOUT
- ⊕ POWER METER
- ⊕ GAS METER

Project No.: # 3680
Date: 11/15/2017
Scale: 1" = 20'
Designed By: CLB
Reviewed By: PCF

LONE OAK CONSTRUCTION
TOPOGRAPHIC SURVEY
GLUCKSTADT, MISSISSIPPI

PROPERTY ZONED C-2
Front Yard = 35'
Side Yard = none
Rear Yard = 50'

Class "A" survey in accordance with the minimum standards for land surveying in the State of Mississippi.

Subsurface and environmental conditions were not examined or considered as a part of this survey.

Underground utilities are based on physical evidence, maps provided by utility companies, and utility locate service personnel. Some utilities shown on this plat may be approximate only. Should call MS One-Call before any digging.

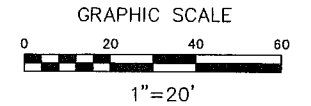
Property located in Zone X as referenced on FEMA Map 28089 C 415F, dated March 17, 2010.

This TOPOGRAPHIC survey was performed and this plat was prepared by Floyd & Baird Engineering, 130 E. Northside Drive, Clinton, MS 39056 Phone: (601) 925-5015

This survey is considered valid only when original seal and signature of surveyor of record is affixed hereto.

I, Colin L. Baird, do hereby certify that the features depicted on this plat are a correct representation of the conditions as they existed on November 9, 2017.

Date of field survey: November 8, 2017.
Elevations referenced to NAVD88.
Reference Bearing taken from GPS grade survey equipment and is referenced to Grid North, SPC MS West.



SHEET
C 0.1

No.	Revisions:	By:	Date:

SITE PLAN NOTES

GENERAL

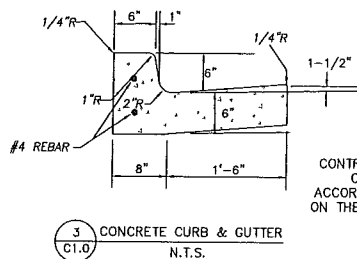
- BOUNDARY SURVEY TAKEN FROM A SURVEY PREPARED BY FLOYD & BAIRD ENGINEERING, INC., DATED OCTOBER 1, 2017.
- CONTRACTOR TO NOTIFY ALL UNDERGROUND UTILITY COMPANIES AT LEAST 48 HOURS PRIOR TO CONSTRUCTION EXCAVATION. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH OSHA, FEDERAL, STATE AND LOCAL CODES.
- CONTRACTOR TO COMPLY WITH ALL EROSION CONTROL STANDARDS AS SPECIFIED BY CITY, COUNTY AND STATE OFFICIALS.
- DURING CONSTRUCTION, CONTRACTOR SHALL CHECK THE EROSION CONTROL FACILITIES DAILY, AND MAKE REPAIRS OR MODIFICATIONS AS NEEDED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE STORMWATER FACILITIES DURING CONSTRUCTION. UPON COMPLETION OF PROJECT, THIS SHALL BECOME THE RESPONSIBILITY OF THE OWNER. THE OWNER SHALL INSPECT ALL STORM DRAINS, ON A MONTHLY BASIS AND REMOVE ANY SILTATION AS NEEDED.
- ALL DISTURBED GRASSED AREAS SHALL BE SOLO SOO UNLESS NOTED OTHERWISE.
- THE CONTRACTOR SHALL CONTACT CITY ENGINEERING AND RIGHT-OF-WAY DEPARTMENTS AT LEAST THREE (3) DAYS PRIOR TO PERFORMING ANY CONSTRUCTION ACTIVITIES WITHIN THE PUBLIC RIGHT-OF-WAY.
- THE CONTRACTOR SHALL IMPLEMENT AND MAINTAIN BEST MANAGEMENT PRACTICES AS REQUIRED BY MISSISSIPPI DEPARTMENT OF ENVIRONMENTAL QUALITY.
- CONSTRUCTION PHASE DUST CONTROL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. WATER, SITE AS NEEDED, OR AS DIRECTED BY ENGINEER TO MAINTAIN ADEQUATE DUST CONTROL.
- ANY AND ALL DESIGN, ERECTION, PERMIT FEES AND APPLICATION PERTAINING TO ANY AND ALL WORK ZONE TRAFFIC CONTROL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR SHALL UNCOVER AND VERIFY THE DEPTH OF ALL UTILITY TIE-IN POINTS PRIOR TO CONSTRUCTION AND ORDERING OF ANY MATERIALS. IF CONDITIONS ARE ENCOUNTERED DIFFERENT FROM DRAWINGS, CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY AND ADJUSTMENTS SHALL BE DETERMINED.
- BACKFILL ALL EXCAVATED AREAS WHERE UTILITIES ARE REMOVED WITH SAND-CLAY STRUCTURAL FILL PER GEOTECHNICAL REPORT REQUIREMENTS.
- ANY EXISTING UTILITIES TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTOR, AND DISPOSED OF OFF-SITE IN A LEGAL MANNER.
- CONTRACTOR SHALL OBTAIN AND PAY FOR ALL NEEDED PERMITS AND LICENSES.
- SITE CONTRACTOR SHALL MATCH EXISTING PAVEMENT IN GRADE AND ALIGNMENT AT CONNECTIONS TO EXISTING GRANDVIEW BOULEVARD.
- SEE LANDSCAPE DETAIL FOR ALL HARDSCAPE AND LANDSCAPE DETAILS.
- SEE ARCHITECTURAL SHEETS FOR BUILDING DIMENSIONS.
- ALL DIMENSIONS SHOWN ON THIS SHEET ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
- NO SIGN STRUCTURE NEEDED FOR THIS SITE. SIGNAGE IS LOCATED ON BUILDING.
- DUMPSTER WILL HAVE A 6' TALL BRICK WALL AROUND AND THE BRICK TO MATCH THE BUILDING. SEE LANDSCAPE PLAN FOR SCREENING AROUND DUMPSTER. THE GATE WILL BE PAINTED STEEL. SEE ARCHITECT PLANS FOR DETAILS.
- PARKING PROVIDED IN THIS PROJECT:
2 ADA COMPLIANT PARKING SPACES
12 STANDARD PARKING SPACES
14 TOTAL PARKING SPACES PROVIDED
- DETECTABLE WARNING SURFACE TO MEET ADAAG 4.29.2 (TRUNCATED DOME PANEL).

FLOOD ZONE

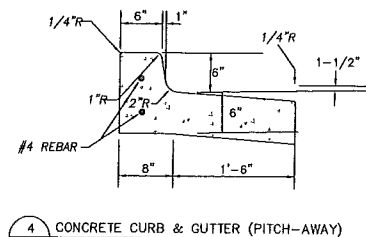
Property located in Zone X as referenced on FEMA Map 28089 C 415F, dated March 17, 2010.

PROPERTY ZONE

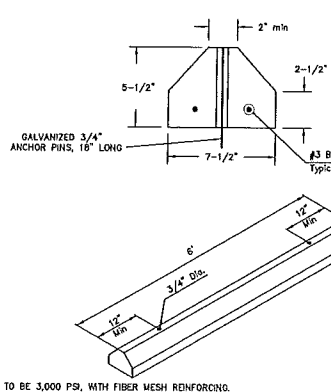
Subject property is located in Zone O-2.



*CONTRACTION JOINT SHOULD BE PLACED EVERY 10 FEET AND/OR EVERY TANGENT



*CONTRACTION JOINT SHOULD BE PLACED EVERY 10 FEET AND/OR EVERY TANGENT

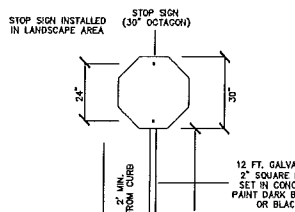


CONCRETE TO BE 3,000 PSI, WITH FIBER MESH REINFORING.

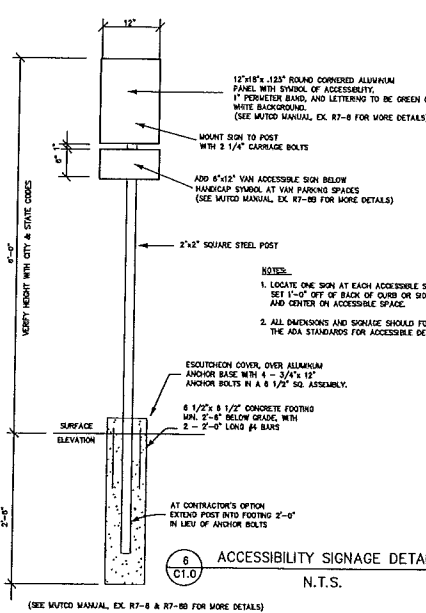
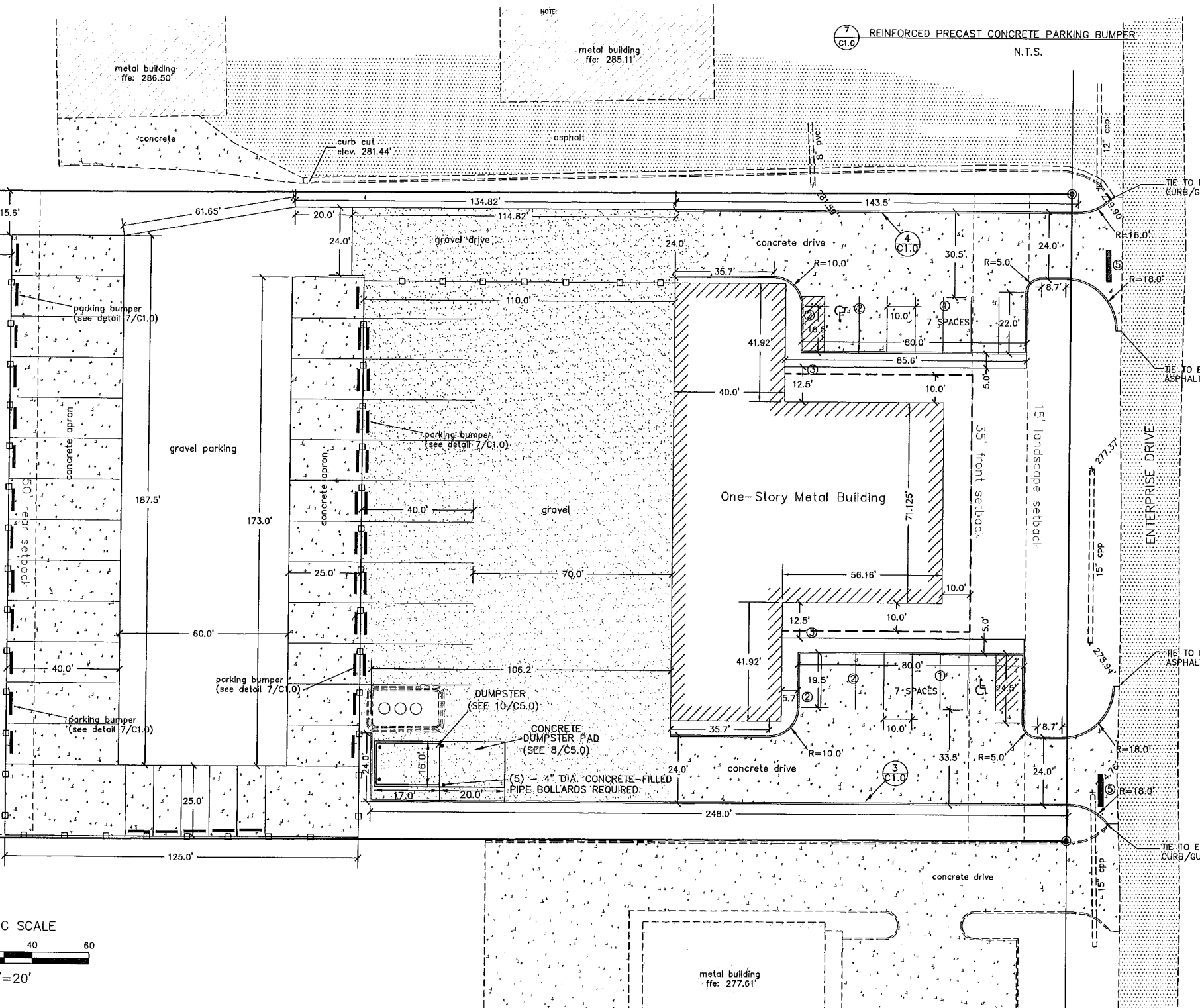
- PARKING FEATURES LEGEND
- ① TRAFFIC STRIPE (PARKING)
 - ② TRAFFIC STRIPE (HANDICAP)
 - ③ HANDICAP PARKING SIGN (R7-B)-DETAIL 6/C1.0
 - ④ STOP SIGN (DETAIL 2/C1.0)
 - ⑤ 24\"/>

- 4\"/>

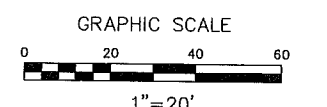
- NOTES:
- WHEEL STOPS TO BE PLACED 2' BACK AS SHOWN ABOVE, CENTERED IN THE PARKING STALL.
 - WHEEL STOPS CAN BE PAINTED IN A CONTRASTING COLOR SUCH AS GRAY, YELLOW OR BLACK. BLUE SHALL BE USED FOR HANDICAP PARKING STALLS.



② TRAFFIC SIGN INSTALLATION
N.T.S.



⑧ ACCESSIBILITY SIGNAGE DETAIL
N.T.S.



① 90' PARKING STALL DETAIL
N.T.S.

LEGEND

- PROPOSED CONCRETE CURB (DETAIL 3 & 4/C1.0)
- ♿ HANDICAP PARKING
- PROPERTY LINE
- PROPERTY LINE

Date:	
By:	
Revisions:	
No.	

FLOYD & BAIRD ENGINEERING, INC.
130 E. Northside Drive, Clinton, MS 39056
Phone: 662-343-1111
www.floydandbaird.com

Project No.: # 3680
Date: 11/15/2017
Scale: 1" = 20'
Designed By: CLB
Reviewed By: PCF

SITE PLAN
LONE OAK CONSTRUCTION

SHEET
C1.0

SITE PREPARATION NOTES

1. GENERAL

THE CONTRACTOR SHALL REMOVE ALL INFRASTRUCTURE AND VEGETATION FROM THE AREA TO BE EXCAVATED, FILLED, OR GRADED.
SEE ARCHITECTURAL PLANS FOR THE LOCATION OF DOWN SPOUTS FOR ROOF DRAINAGE, IF ANY.
ALL IMPROVEMENTS AND ADDITIONS TO THE WATER AND SANITARY SEWER SYSTEMS SHALL BE INSTALLED IN COMPLIANCE WITH THE CITY OF JACKSON STANDARDS.

2. CLEARING

PRIOR TO CUT AND REPLACEMENT OF FILL ON SITE, APPROXIMATELY 6 INCHES OF TOPSOIL SHOULD BE REMOVED WHERE ENCOUNTERED.
REMOVE BRUSH, ROOTS, LARGE GRASS, ROCKS, AND WEEDS BEFORE STRIPPING.
REMOVE TOPSOIL TO A MINIMUM DEPTH OF 6 INCHES IN ALL AREAS INDICATED ON THE PLANS TO BE UNDER BUILDING, DRIVES, PARKING, SIDEWALKS, AND OTHER PAVING.
STORE TOPSOIL APPROVED FOR FILL IN GENERAL LANDSCAPE AREAS AT DESIGNATED LOCATIONS ON SITE.

3. GRUBBING

REMOVE ASPHALT, CONCRETE CURBS, LIGHTING POLES AND FOUNDATIONS, TRASH, STUMPS, OLD LUMBER, STRUCTURES, ETC. EITHER ABOVE, ON THE NEW SURFACE, OR BELOW THE GROUND WHICH MAY INTERFERE WITH THE NEW CONSTRUCTION.

4. CLEAN-UP

UPON COMPLETION OF WORK OF THIS SECTION, REMOVE FROM PREMISES, AND DISPOSE OF ALL RELATED DEBRIS. IMPLEMENT EROSION CONTROL PLAN.

5. SITE GRADING

PROFROLLING WITH A LOADED TRUCK OR SCRAPER SHOULD BE PERFORMED TO LOCATE POTENTIAL SOFT SPOTS IN THE SUBGRADE AND/OR NATURAL GROUND BEFORE ANY FILL IS PLACED. SOFT SPOTS SHOULD BE REMOVED AND REPLACED WITH COMPACTED STABLE SANDY CLAY (CL). THE TOP 6 INCHES OF NATURAL GROUND SHOULD BE SCARIFIED AND COMPACTED TO 95% ASTM D698 PRIOR TO FILL PLACEMENT.

CUT OR FILL AND MACHINE GRADE SITE AS SHOWN ON THE DRAWINGS TO DRAIN AS INDICATED, ALLOWING FOR THE THICKNESS OF PAVING SUBGRADE AND THE PAVING ITSELF. WHERE FILL IS REQUIRED, USE PER GEOTECHNICAL REPORT.

ALL EARTHWORK SHALL BE IN ACCORDANCE WITH THE GEOTECHNICAL INVESTIGATION REPORT.

ALL FILL MATERIALS DESCRIBED IN GEOTECHNICAL REPORT MUST BE REMOVED AND REPLACED WITH ACCEPTABLE FILL MATERIAL.

6. FILLING AND BACKFILLING MATERIALS

IMPORTED FILL MATERIAL WILL HAVE PROPERTIES TO ALLOW COMPACTION BY ROLLING AND TAMPING TO A DENSITY EQUAL TO 95% OF MAXIMUM DENSITY WITH ±2% OF OPTIMUM MOISTURE CONTENT AS DETERMINED BY TEST METHODS DESCRIBED IN ASTM D698, LATEST EDITION, "MOISTURE DENSITY RELATIONSHIP OF SOILS". IF EXCAVATED MATERIAL IS UNSUITABLE FOR COMPACTION AS DETERMINED BY THE SOILS TESTING LABORATORY, FURNISH SUITABLE BORROW WHICH CAN BE COMPACTED FROM AN OFF-SITE SOURCE. ALL FILL AND BACKFILL MATERIALS SHALL BE OF LOW EXPANSIVITY, UNIFORM IN GRADE, FREE FROM ORGANIC MATERIAL, AND CONSIST OF SILTY CLAY (CL) SOIL HAVING A LIQUID LIMIT OF NOT MORE THAN 45 PERCENT AND A PLASTICITY INDEX BETWEEN 10 AND 24.

7. DETENTION POND

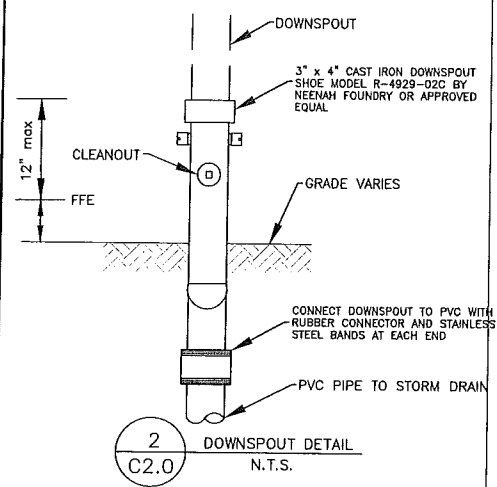
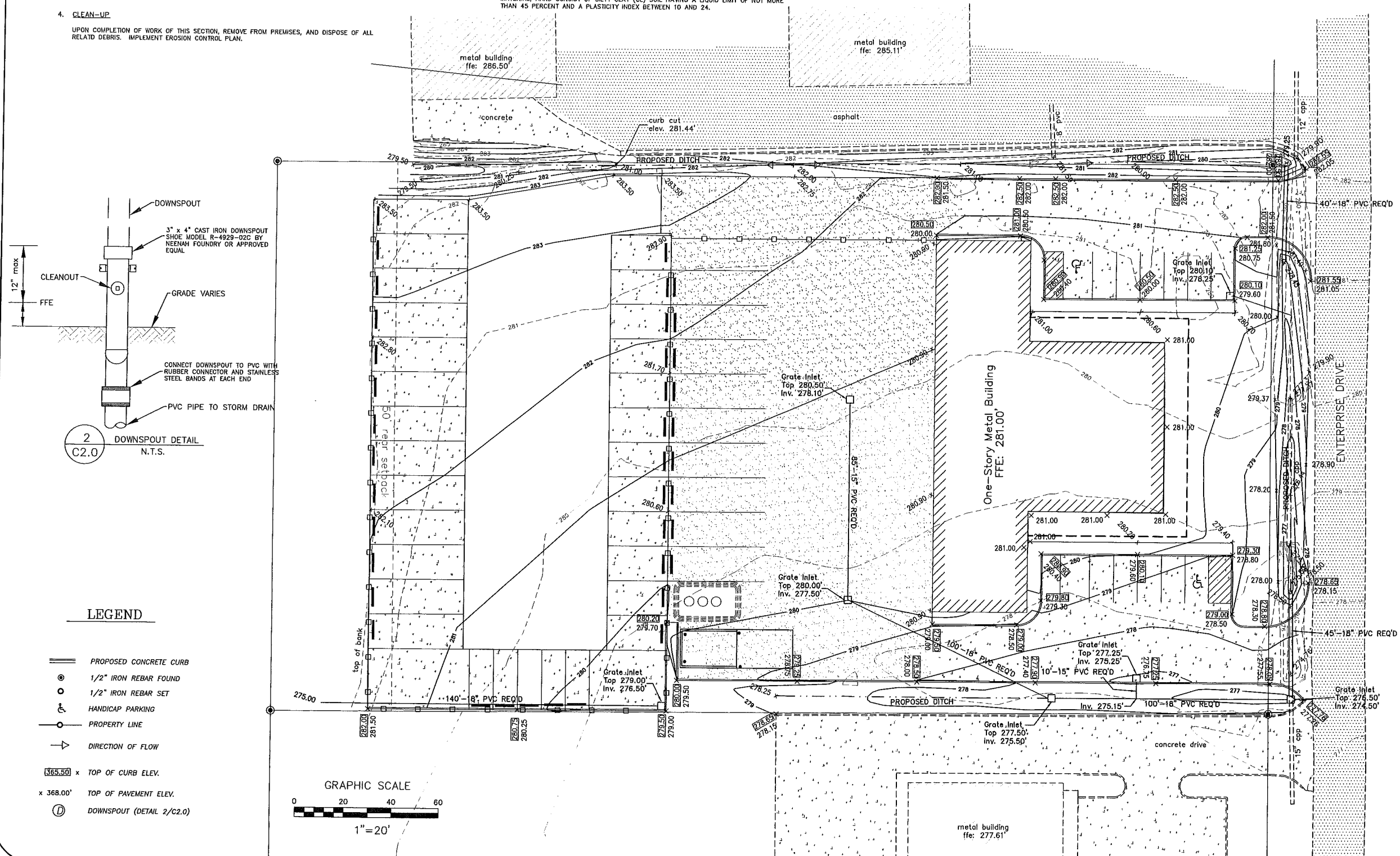
NO DETENTION REQUIRED FOR THIS PROJECT.

8. STORM DRAIN PIPE

NEW STORM PIPE ON THIS SHEET LABELED "PVC" SHALL BE ASTM A-2000 CORRUGATED PVC PIPE.

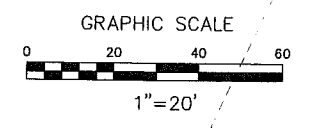
9. GEOTECHNICAL REPORT

NO GEOTECHNICAL REPORT PROVIDED



LEGEND

- PROPOSED CONCRETE CURB
- 1/2" IRON REBAR FOUND
- 1/2" IRON REBAR SET
- ♿ HANDICAP PARKING
- PROPERTY LINE
- DIRECTION OF FLOW
- 365.50 x TOP OF CURB ELEV.
- x 368.00' TOP OF PAVEMENT ELEV.
- Ⓧ DOWNSPOUT (DETAIL 2/C2.0)



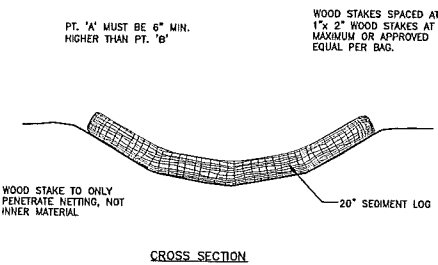
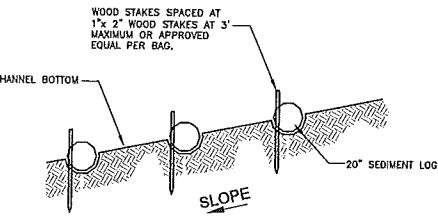
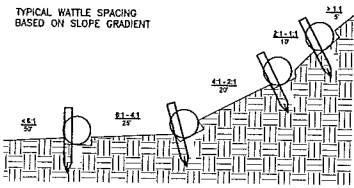
No.	Revisions:	By:	Date:

FLOYD S BAIRD ENGINEERING, INC.
130 E. Northside Drive, Clinton, MS 39056
Phone: 662-922-5015
www.floydbaird.com

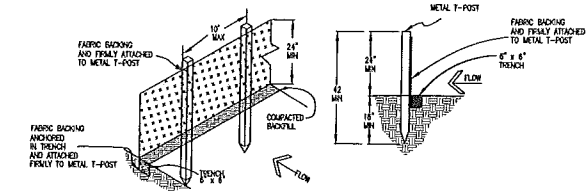
Project No.: # 3680
Date: 11/15/2017
Scale: 1" = 20'
Designed By: CLB
Reviewed By: PCF

GRADING & DRAINAGE PLAN
LONE OAK CONSTRUCTION

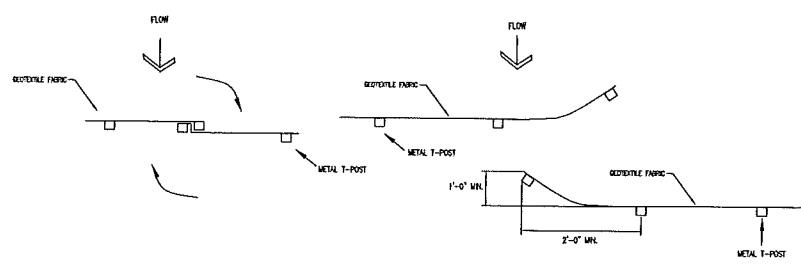
SHEET
C2.0



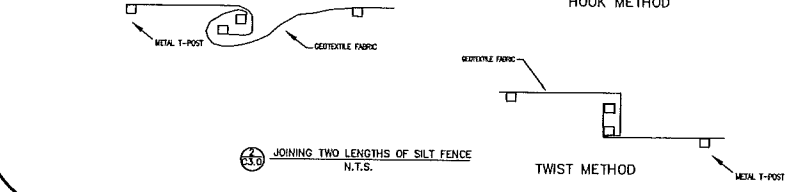
6 C3.0 SEDIMENT LOG DITCH CHECK
N.T.S.



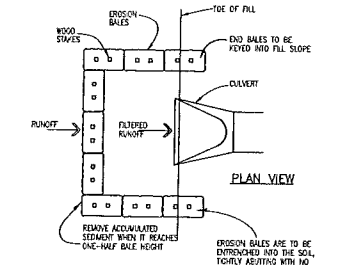
5 C3.0 SILT FENCE DETAIL
N.T.S.



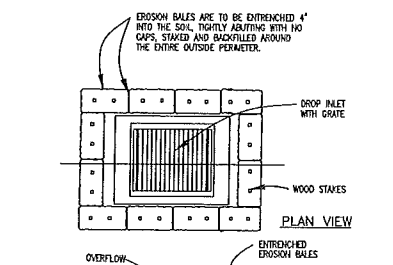
7 C3.0 HOOK METHOD
N.T.S.



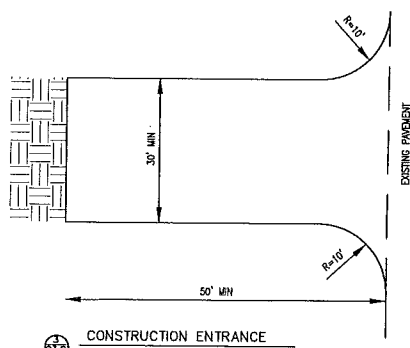
8 C3.0 TWIST METHOD
N.T.S.



5 C3.0 CULVERT EROSION BALE INLET PROTECTION
N.T.S.



4 C3.0 DROP INLET EROSION BALE FILTER
N.T.S.



3 C3.0 CONSTRUCTION ENTRANCE
N.T.S.

- NOTES:
1. STONE SIZE - USE 2" STONE OR RECLAIMED OR RECYCLED CONCRETE EQUIVELANT.
 2. THICKNESS - NOT LESS THAN 6".
 3. FILTER CLOTH WILL BE PLACED OVER THE ENTIRE AREA BEFORE PLACING STONE.

PURSUANT TO ADOPTED STORM WATER MANAGEMENT PLANS FOR NON-RESIDENTIAL USERS, THE FOLLOWING INFORMATION IS PROVIDED:

- SIGNIFICANT MATERIALS TO BE PLACED ON PROPERTY INCLUDE FILL/CUT MATERIAL, CONCRETE, METAL OR IRON FOR THE BUILDING
- CURRENT AND PROPOSED LAND USE IS FOR STATE FARM INSURANCE, THE ONLY FEASIBLE THREAT OF STORM WATER POLLUTION WILL ARISE DURING CONSTRUCTION. THE THREAT WILL BE FROM UNCONTROLLED SEDIMENT RUNOFF. SEDIMENT RUNOFF CAN BE CONTROLLED BY FOLLOWING THE GUIDELINES AS SHOWN ON THE PRECEDING AND CURRENT "EROSION CONTROL PLAN" SHEETS.
- CUT/FILL MATERIAL MAY BE STOCKPILED ON SITE DURING CONSTRUCTION. IF SO, A SILT FENCE MUST BE IN PLACE AROUND SAID STOCKPILE. CONCRETE WILL BE DELIVERED ON-SITE WITH CONCRETE TRUCKS. SPILLOVER FROM FORMING WILL BE STOCKPILED AND REMOVED FROM SITE TO AN APPROVED RUBBISH OR LANDFILL SITE. THE SAME APPLIES FOR ALL METAL/IRON EXCESS FROM BUILDING CONSTRUCTION
- ALL LITTER IS TO BE DISPOSED OF IN A CERTIFIED LAND FILL. LITTER IS TO BE TEMPORARILY STORE ON SITE UNTIL IT CAN BE HAULED TO A CERTIFIED LAND FILL OR REMOVED BY PROFESSIONAL WASTE MANAGEMENT SERVICES.
- ALL SIGNIFICANT MATERIALS REMAINING AFTER CONSTRUCTION WILL BE REMOVED FROM SITE AND DISPOSED OF IN AN APPROVED RUBBISH OR LANDFILL SITE.
- PESTICIDES OR HERBICIDES ARE NOT NECESSARY AND ARE, THEREFORE, NOT ALLOWED ON SITE. IF ANY ARE FOUND ON SITE, THEY WILL BE DISPOSED OF AS PER DEQ OR EPA REGULATIONS.
- NOTE THE LOCATION OF ALL SILT FENCES AND EROSION CONTROL MEASURES AS INDICATED ON PRECEDING "EROSION CONTROL PLAN" SHEET. THE DETAILS OF SAID FENCES AND CONTROL MEASURES ARE SHOWN ON CURRENT SHEET.

Date:	
By:	
Revisions:	
No.	

FLOYD S BAIRD ENGINEERING, INC.
130 E. Northside Drive, Clinton, MS 39056
Phone: (601) 925-5015
www.floyd Baird.com

Project No.: # 3680
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Scale: 1" = 20'
Designed By: CLB
Reviewed By: PCF

EROSION CONTROL DETAILS
LONE OAK CONSTRUCTION

SHEET
C3.1

UTILITIES NOTES

1. GENERAL

THE SITE CONTRACTOR SHALL VERIFY ALL DIMENSIONS WITH THE MOST CURRENT DATA PROVIDED BY THE OWNER.

ALL WATER AND SANITARY SEWER SERVICES TO BE INSTALLED TO WITHIN 5 FEET OF BUILDING LINE. SINCE WATER AND SEWER IS PRIVATELY OWNED AND MAINTAINED ON SITE, ALL SERVICES AND MATERIALS WILL BE TO STATE REGULATORY STANDARDS.

THE SITE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES OR PLANS, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE SITE CONTRACTOR MUST MAKE CONTACT WITH APPROPRIATE UTILITY COMPANY OR OWNER PRIOR TO EXCAVATION. THE PRIVATE OWNER MAY OR MAY NOT HAVE KNOWLEDGE OF LOCATION OF UTILITIES AND THE SITE CONTRACTOR IS RESPONSIBLE FOR LOCATING IN NON-INVASIVE AND NON-DISTRACTIVE MEANS IF POSSIBLE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS AS SHOWN ON THE PLANS.

SEE ARCHITECTURAL SHEETS FOR BUILDING CONNECTIONS.

ELECTRIC SERVICE TO BE COORDINATED WITH ENTERGY.

THERE WILL BE NO GAS SERVICE TO THE PROPOSED BUILDING.

UTILITY CONNECTIONS

UTILITY CONNECTIONS SHOWN ON THIS PLAN SHALL BE COORDINATED WITH THE APPROPRIATE AGENCY AS INDICATED BELOW AND ARE TO BE INSTALLED IN ACCORDANCE WITH THEIR REGULATIONS AND REQUIREMENTS.

SANITARY SEWER SERVICE:
BEAR CREEK WATER ASSOC.
CONTACT: NOLAN WILLIAMSON
TELEPHONE: 601-856-8958

ELECTRIC SERVICE:
ENTERGY
CONTACT: JOHN PEACOCK
TELEPHONE: 1-800-368-3749

WATER SERVICE:
BEAR CREEK WATER ASSOC.
CONTACT: NOLAN WILLIAMSON
TELEPHONE: 601-856-8958

NATURAL GAS SERVICE:
ATMOS ENERGY
CONTACT: N/A
TELEPHONE: N/A

* SEE ELECTRICAL SHEETS (ELECTRICAL SITE PLAN) FOR ELECTRICAL CONNECTIONS AND LAYOUT

2. SANITARY SEWER AND WATER CONNECTIONS

CONNECTION OF SANITARY SEWER AND WATER TO THE EXISTING INFRASTRUCTURE SHALL BE IN ACCORDANCE WITH LOCAL AND STATE REGULATIONS.

SITE CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS AVOID CONFLICTS AND ASSURE PROPER DEPTHS ARE ACHIEVED.

SITE CONTRACTOR SHALL COORDINATE INSTALLATION OF ALL UNDERGROUND UTILITIES WITH HIS WORK. ALL UNDERGROUND UTILITIES (WATER, STORM SEWER, SANITARY SEWER, IRRIGATION SYSTEMS, ELECTRICAL CONDUIT, ETC) SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF BASE COURSE MATERIAL, AND THE PLACEMENT OF ANY APPROPRIATE SOIL STABILIZATION.

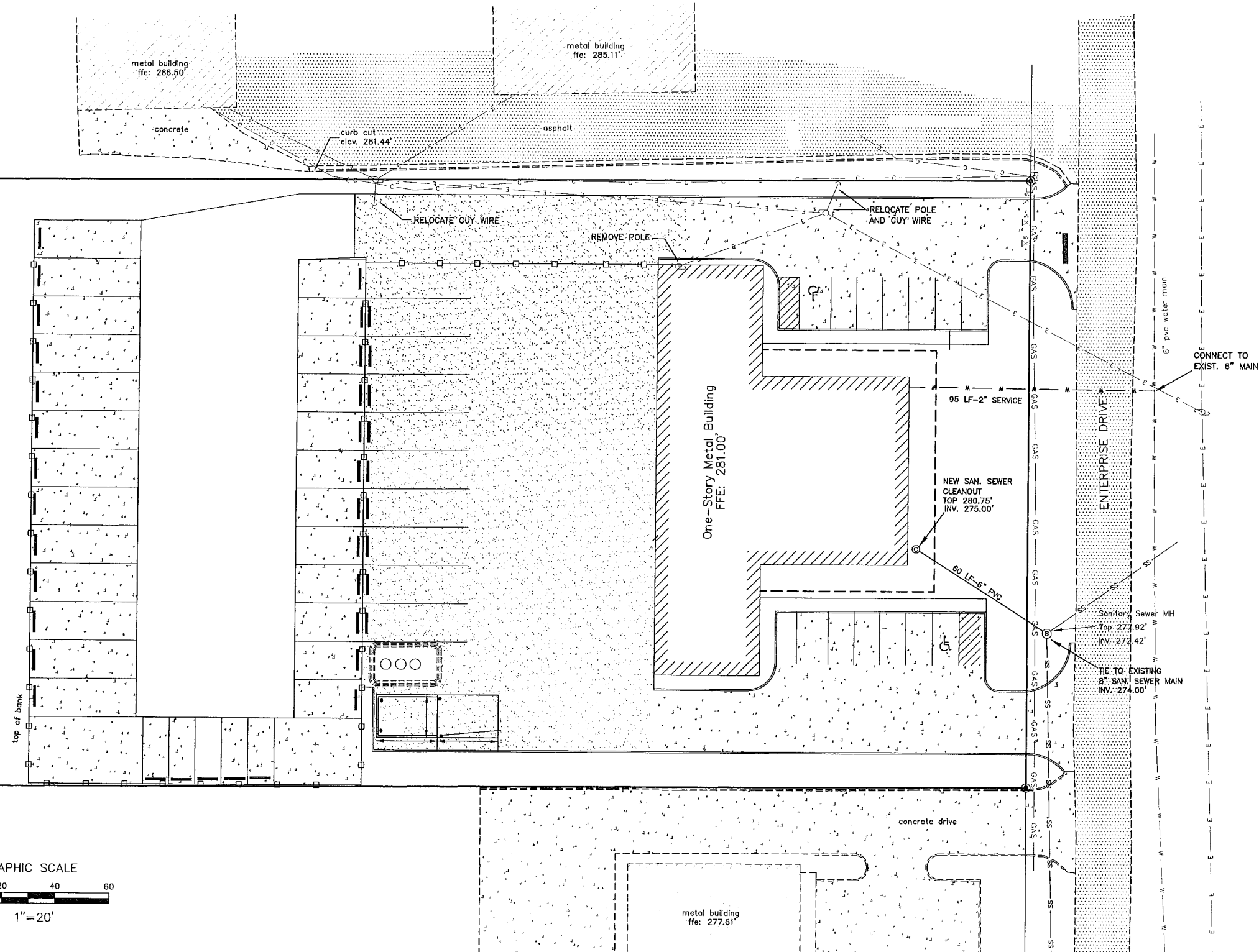
SEWER PIPE AND FITTINGS SHALL BE PVC, ASTM D-3034, SDR-26, ELASTOMETRIC GASKET JOINTS.

ALL WATER SERVICE LINES 3" AND UNDER SHALL BE PB, AWWA STD. C-902 CLASS 150.

SITE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGES TO EXISTING UTILITIES TO REMAIN AND FOR ALL INTERRUPTIONS CAUSED BY A RESULT OF HIS WORK.

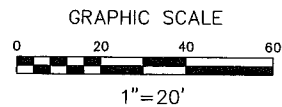
ALL SANITARY SEWER AND WATER UTILITIES SHALL BE CONSTRUCTED AND TESTED IN ACCORDANCE WITH STATE REGULATORY AGENCY STANDARDS.

WATER METERS ARE TO BE INSTALLED BY BEAR CREEK WATER ASSOCIATION. CURB STOPS ARE TO END AT, OR REASONABLY CLOSE, TO THE RIGHT-OF-WAY IN AN AREA THAT IS ACCESSIBLE FOR READING OR MAINTENANCE.



LEGEND

- PROPOSED CONCRETE CURB
- ⊙ 1/2" IRON REBAR FOUND
- 1/2" IRON REBAR SET
- ♿ HANDICAP PARKING
- PROPERTY LINE
- ⊞ BFP BACKFLOW PREVENTER
- ⊞ FDC FIRE DEPARTMENT CONNECTION
- OVERHEAD ELECTRIC

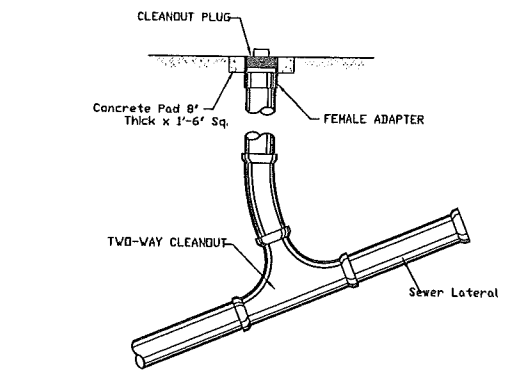


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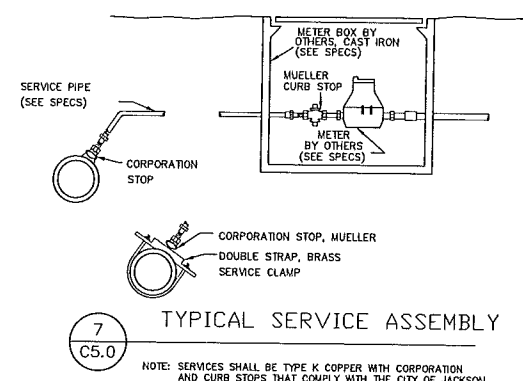
FLOYD & BAIRD ENGINEERING, INC.
130 E. Northside Drive, Clinton, MS 39056
Phone: (601) 925-1505
www.floydbaird.com

Project No.: # 3680
Date: 11/15/2017
Scale: 1" = 20'
Designed By: CLB
Reviewed By: PCF

UTILITY PLAN
LONE OAK CONSTRUCTION
SHEET
C4.0

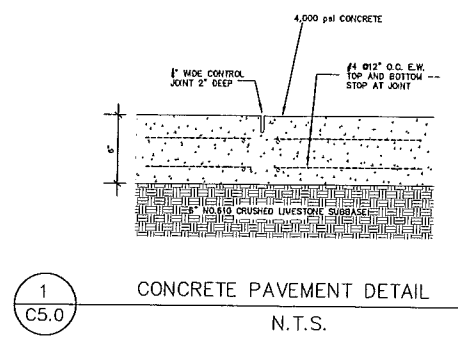


6 SANITARY SEWER CLEAN-OUT (2-WAY) DETAIL
C5.0 NTS



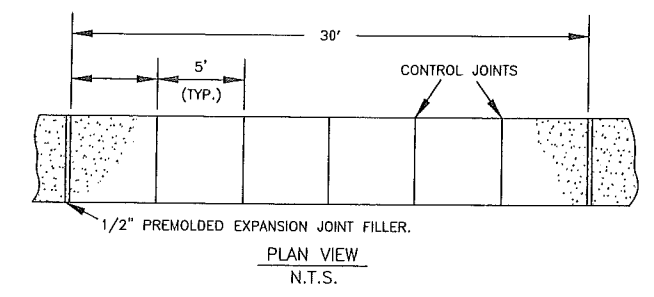
7 TYPICAL SERVICE ASSEMBLY
C5.0

NOTE: SERVICES SHALL BE TYPE K COPPER WITH CORPORATION AND CURB STOPS THAT COMPLY WITH THE CITY OF JACKSON STANDARD SPECIFICATIONS. MUST BE APPROVED BY CITY OF JACKSON PRIOR TO INSTALLATION.

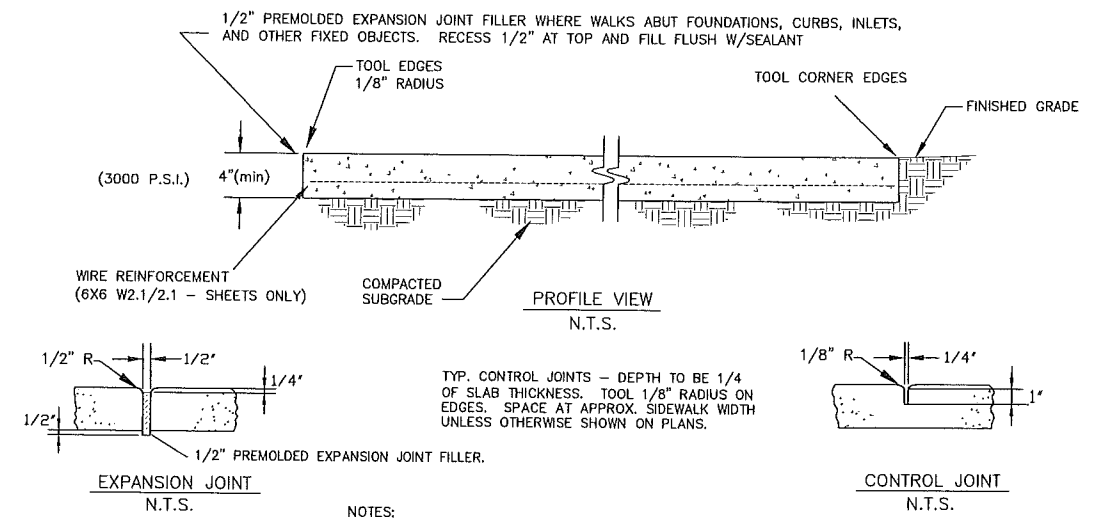


1 CONCRETE PAVEMENT DETAIL
C5.0 N.T.S.

- SLAB PROFILE:
- TOOLED CONSTRUCTION JOINTS SHOULD BE PROVIDED AT INTERVALS THAT WILL PROVIDE A SLAB SITE THAT DOES NOT EXCEED 20'X20'.
 - EXPANSION JOINTS SHOULD ONLY BE PLACED WHERE THE PAD DIRECTLY ADJOINS A BUILDING OR OTHER FIXED STRUCTURE.
 - PROOF ROLL SUBGRADE PRIOR TO CONCRETE PLACEMENT AND CUT REINFORCING AT ALL JOINT LOCATIONS.



PLAN VIEW
N.T.S.



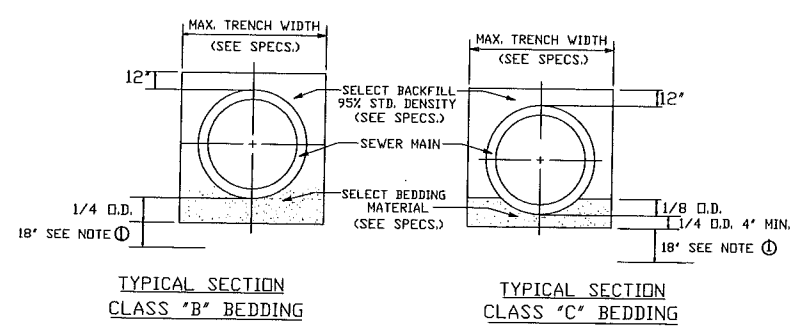
PROFILE VIEW
N.T.S.

EXPANSION JOINT
N.T.S.

CONTROL JOINT
N.T.S.

- NOTES:
- CONCRETE SHALL BE 3,000 PSI MINIMUM
 - 6X6 W2.1/W2.1 WIRE REINFORCEMENT REQUIRED (SHEETS ONLY)
 - PROVIDE BROOM FINISH TO ALL EXPOSED SURFACES
 - HEAVY BROOM FINISH PERPENDICULAR TO THE DIRECTION OF TRAFFIC.

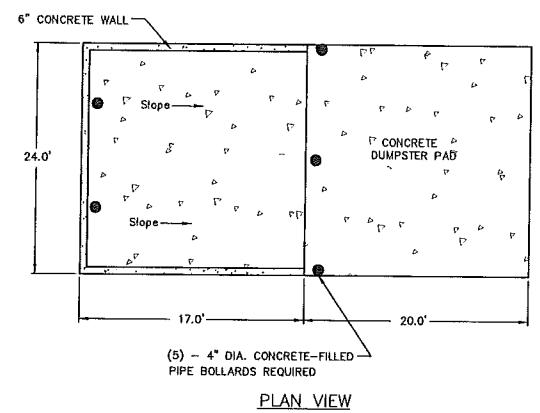
3 CONCRETE SIDEWALK SECTION DETAILS
C5.0 N.T.S.



TYPICAL SECTION
CLASS "B" BEDDING

TYPICAL SECTION
CLASS "C" BEDDING

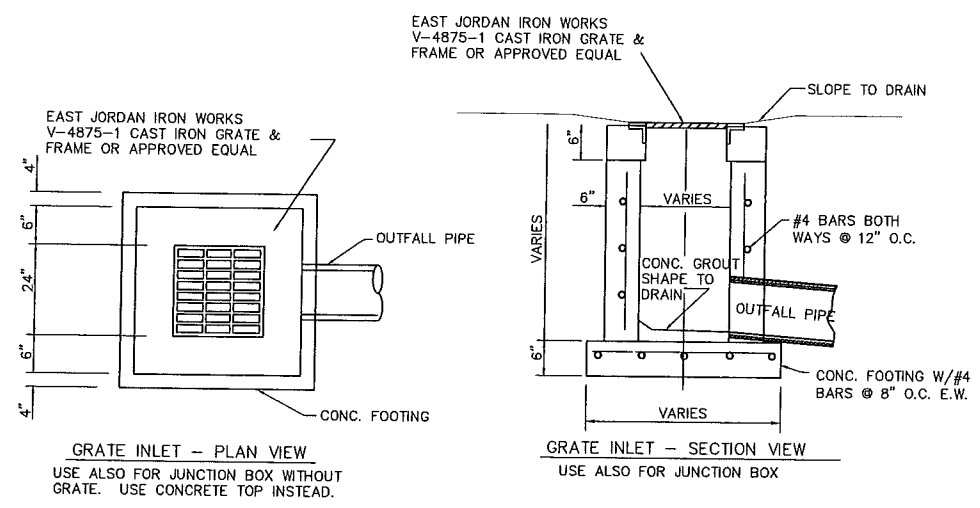
- DEWATERING REQ'D. TO THIS LEVEL (MIN). CONTRACTOR WILL NOT BE ALLOWED TO WORK WHEN WATER LEVEL IS NOT MAINTAINED BY DEWATERING SYSTEM TO THIS ELEVATION OR LOWER.
- WHEN TRENCHING ACROSS EXISTING ASPHALT OR CONCRETE SURFACES, NEW ASPHALT SHOULD BE PLACED BACK AT SAME DEPTH OF EXISTING ASPHALT OR CONCRETE THICKNESS.



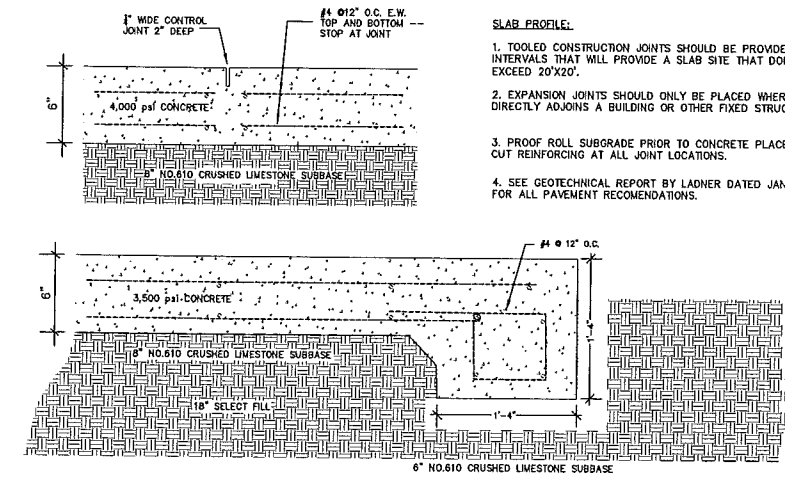
PLAN VIEW

- NOTES:
- 8 FOOT TALL WOODEN FENCE TO BE CONSTRUCTED ON TOP OF THE CONCRETE WALL.
 - 4" DIA. CONCRETE FILLED PIPE BOLLARDS REQUIRED AS SHOWN ON THE DETAIL. TWO WITHIN ENCLOSURE AT BACK WALL AND THREE IN FRONT OF THE ENCLOSURE TO PREVENT DOORS FROM SWINGING BEYOND 90°
 - DUMPSTER PAD GATES TO BE INSTALLED ON 6" DIA. POST WITH METAL FRAME AND WOOD SLATES OVER GATE FRAME.

10 DUMPSTER DETAIL
C5.0 N.T.S.

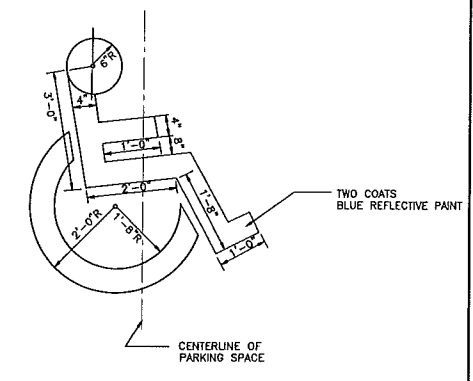


9 GRATE INLET DETAIL
C5.0 N.T.S.



8 HEAVY DUTY CONCRETE (DUMPSTER AREA)
C5.0 N.T.S.

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 - PROOF ROLL SUBGRADE PRIOR TO CONCRETE PLACEMENT AND CUT REINFORCING AT ALL JOINT LOCATIONS.
 - SEE GEOTECHNICAL REPORT BY LADNER DATED JANUARY 2016 FOR ALL PAVEMENT RECOMMENDATIONS.



4 ACCESSIBILITY PARKING SYMBOL
C5.0 N.T.S.

- NOTES:
- ACCESSIBILITY SYMBOLS SHALL BE PAINTED ON PAVEMENT AT EACH ACCESSIBLE PARKING SPACE.
 - ALL PAVEMENT MARKING INSTALLATIONS SHALL CONFORM TO THE 1988 MUTCD AND ALL SUBSEQUENT REVISIONS.
 - ALL ACCESSIBLE PARKING SPACES SHALL BE MARKED WITH AN ACCESSIBILITY PARKING SPACE SIGN.
 - BLUE PAINT TO BE PAINTED FOR ALL ACCESSIBLE MARKINGS.

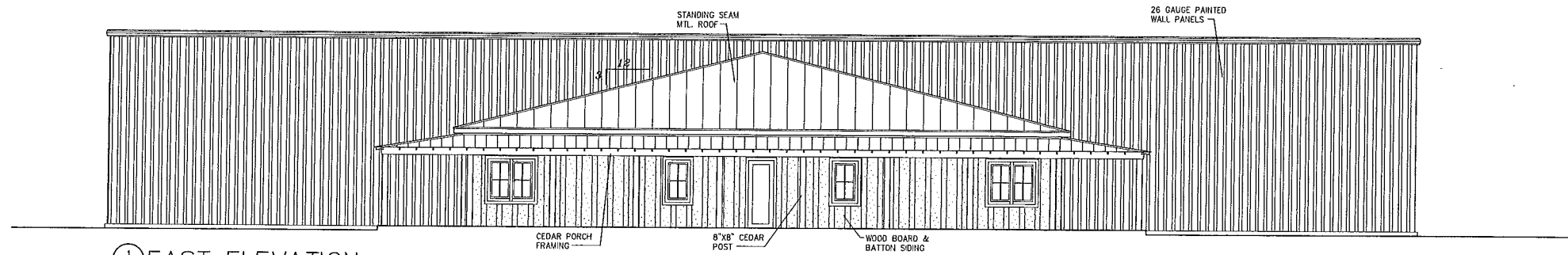
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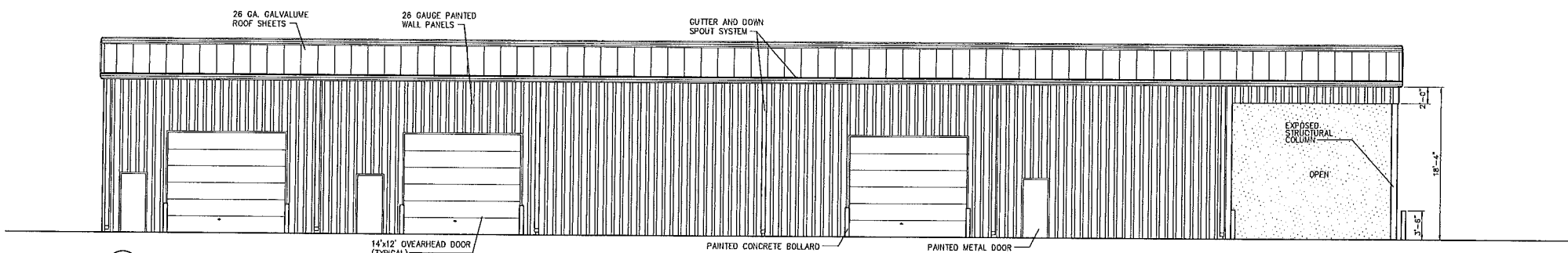
Project No.: # 3680
Date: 11/15/2017
Scale: N.T.S.
Designed By: CLB
Reviewed By: PCF

SITE DETAILS
LONE OAK CONSTRUCTION

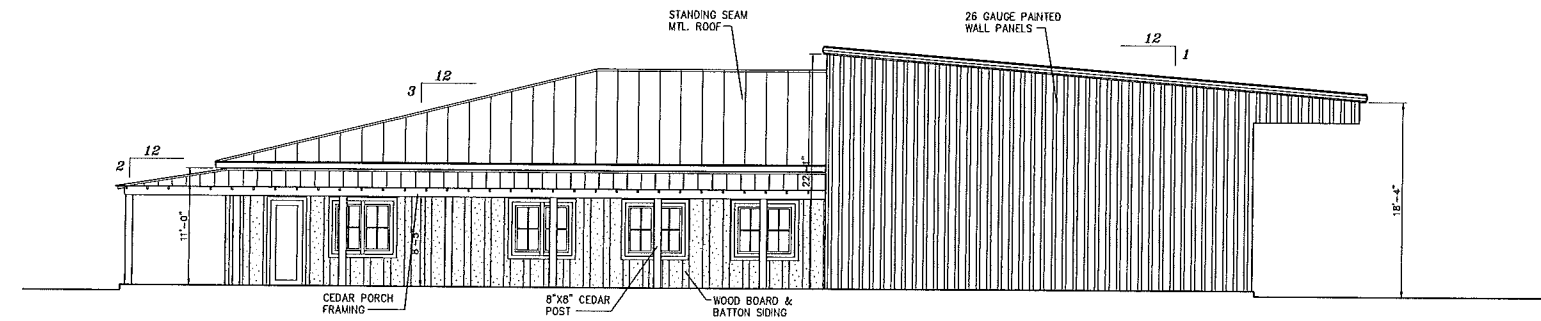
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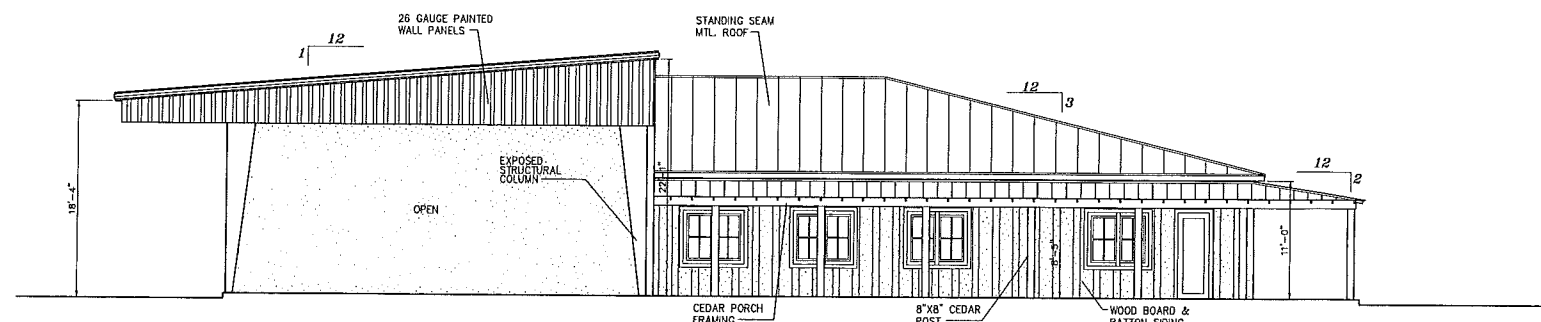
1
A3.0 EAST ELEVATION
SCALE: 1/8"=1'-0"



1
A3.0 WEST ELEVATION
SCALE: 1/8"=1'-0"

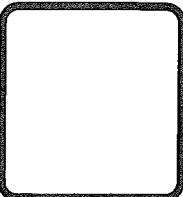


1
A3.0 NORTH ELEVATION
SCALE: 1/8"=1'-0"



1
A3.0 SOUTH ELEVATION
SCALE: 1/8"=1'-0"

REVISIONS	BY



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SCALE
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SHEET
A3.0
OF SHEETS